
Codes and Ordinances

2018 International Building Code (IBC)
2018 International Mechanical Code (IMC)
2018 International Plumbing Code (IPC)
2018 International Fire Code (IFC)
2018 International Energy Conservation Code (IECC)
2017 National Electric Code (NEC)
2010 A.D.A Standards For Accessible Design
2018 ICC/ANSI A117.1

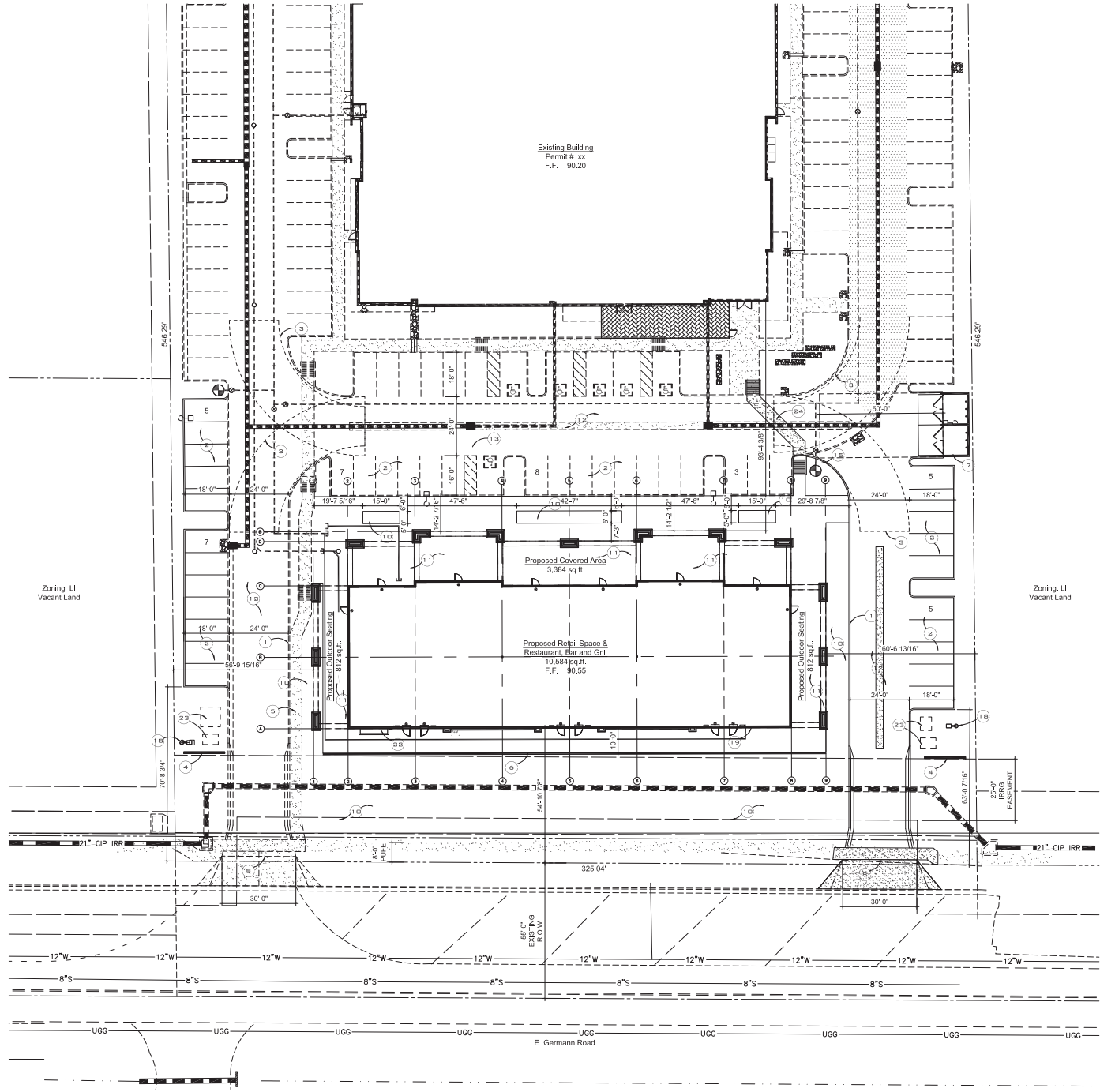
All Codes Applicable as Amended by City of Mesa Ordinance

Project Narrative

Project scope to include New 10,584 sq.ft. Masonry Building for the use of Retail Shops and Restaurant, Bar and Grill, allowable by Table 11-7-2 with MZO. Project is tailored to compliment the New "Elevate" building to the north and surrounding community.

Project Data

Address:	8950 E. Germann Rd. Mesa, Arizona 85212
Developer:	LGE Design Build 740 N. 52ND St. Phoenix, AZ 85008
Existing Use:	Vacant Lot
Proposed Use:	A New Retail Shop Building
Assessor Parcel:	304-62-007 x
Current Zoning:	LI-CUP
Site Area:	Net: 177,550 s.f. (4.08 AC) Gross: 199,239 s.f. (4.57 AC)
Landscape Area:	--
Stories:	One Story
Gross Building S.F.:	10,584 s.f. (New Retail Shops)
Gross Building S.F.:	29,459 s.f. (Existing Elevate Building)
Lot Coverage:	22.3 %
Occupancy:	B / A
Construction Type:	III-B
Clear Height:	--
Building Height:	20'-0" Top Of Parapet



General Site Information:

Codes and Ordinances

- 2018 International Building Code (IBC)
- 2018 International Mechanical Code (IMC)
- 2018 International Plumbing Code (IPC)
- 2018 International Fire Code (IFC)
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All Codes Applicable as Amended by City of Mesa Ordinance

Project Narrative

Project scope to include New 10,584 sq.ft. Masonry Building for the use of Retail Shops and Restaurant, Bar and Grill approved by Title 15-72 with AZDO. Project is subject to complement the New "Elevate" building to the north and surrounding community.

Project Data

Address: 8950 E. Germann Rd, Mesa, Arizona 85212

Developer: LGE Design Build
740 N. 52ND St, Phoenix, AZ 85008

Existing Use: Vacant Lot
Proposed Use: A New Retail Shop Building
Assessor Parcel: 304-02-007 X
Current Zoning: LI-CUP
Site Area: Net: 177,550 s.f. (4.08 AC)
Gross: 199,239 s.f. (4.57 AC)
Landscape Area: -
Stories: One Story
Gross Building S.F.: 10,584 s.f. (New Retail Shops & Restaurant, Bar and Grill)
Gross Building S.F.: 29,459 s.f. (Existing Elevate Building)
Lot Coverage: 22.3 %
Occupancy: B / A
Construction Type: III-B
Clear Height: Building Height: 20'-0" Top Of Parapet

Parking Analysis

Existing Parking Calcs: (Existing Elevate Building) 100 Spaces Required
Total Existing Regular Spaces 124 Spaces Provided
Total Existing Accessible Spaces 6 Spaces Provided

Required Parking Calcs: (New Grey Shell Building)

Use	Square Ft.	Factor	Total
Retail Sales	10,584 s.f.	1 / 275 s.f.	39 Spaces
Restaurant, Bar and Grill			
Outdoor Seating	1,824 s.f.	1 / 275 s.f.	6 Spaces
Total New Spaces Required:			45 Spaces
Total New Regular Spaces			22 Spaces
Total New and Existing Spaces Required			145 Spaces
Total New and Existing Spaces Provided			152 Spaces
Parking Ratio			3.65 Cars for 1,000 s.f.

Fire Protection

1 Hydrant Required
Placement: 210' max. Hose Lay Distance From Building Exterior to Hydrant
Provide F.D.C. at Each Building within 100' max. Distance From Hydrant with Building Address label attached to F.D.C.
Emergency Access Key Boxes: A full set of keys to open all areas inside and outside the structure, to include the fire alarm panel, shall be placed inside the key box.

Keynotes:

1. 8" extruded concrete curb
2. Typical 9'x20' (16'-4" clear) parking stall
3. Fire Truck/Refuse Truck turning radius - 30' Inner Radius & 55' Outer Radius
4. 3" high CMU access walk.
5. Continuous pedestrian walkway from street to building entrance.
6. CMU Retaining Wall
7. Trash Enclosure & Dumpster Pad.
8. 30' wide access driveway.
9. 30' wide access driveway.
10. Required Landscape perimeter
11. Landscape Area - See Landscape Plans.
12. Outdoor seating and patio.
13. Faved Parking Lot with Concrete Curbbing.
14. Accessible parking, striping and signage per City of Mesa requirements
15. Edge of roof/building above.
16. Fire Hydrant - See Civil Engineering Plans.
17. ADA ramp with "Dots" truncated domes.
18. Bicycle parking rack on concrete slab.
19. Overhead area lighting - See photometric plans and Lighting Legend.
20. FDC (Fire Department Connection).
21. Fire Department Lock Box Location.
22. Proposed off-site sewer line extension - See Civil Engineering Plans.
23. Electrical S.E.S. location.
24. SIFP Equipment location.
25. Pedestrian walkway.

Vicinity Map

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CONTRACTOR:

PROJECT:
MESA SHOPS
8950 E. GERMANN RD., MESA, AZ 85212

JOB NUMBER:

DESIGNER:
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NAVARRO ARCHITECTURE
HECTOR NAVARRO + ASSOC. P.A.
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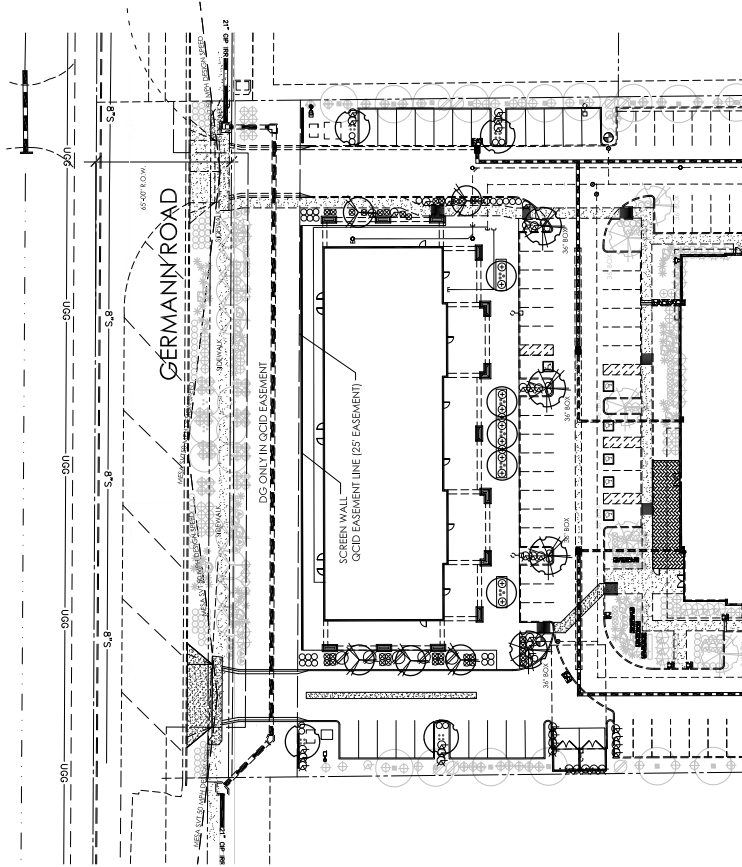
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ARCHITECTURAL SITE PLAN



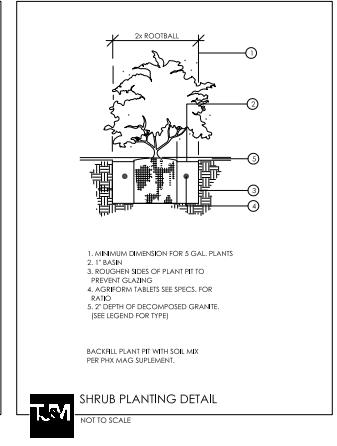
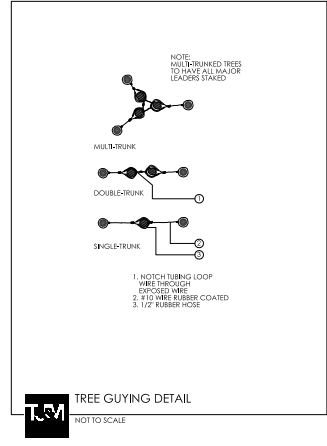
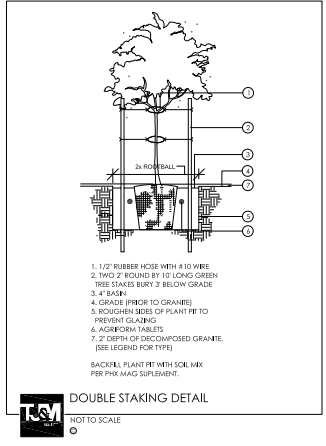
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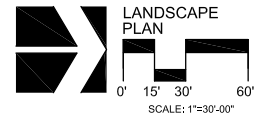
SEE ARCHITECTURAL DRAWINGS FOR ALL SCREEN WALLS

EXISTING	PROPOSED	LANDSCAPE LEGEND
		CERCIDIUM 'HYBRID'
		DESERT MUSEUM PALO VERDE
		QUERCUS VIRGINIANA
		LIVE OAK
		CHINESE ELM
		ULMUS PARVIFOLIA
		SHOESTRING ACACIA
		ACACIA STENOPHYLLA
		CAESALPINIA CACALACO 'SMOOTHIE'
		CASCALOTE
		SOPHORA SECUNDFLORA
		TEXAS MOUNTAIN LAUREL
		CAESALPINIA MEXICANA
		MEXICAN BIRD OF PARADISE
		TECOMA 'ORANGE JUBILEE'
		ORANGE JUBILEE
		HESPERALOE PARVIFLORA
		RED YUCCA
		DASYLIRION WHEELERII
		DESERT SPOON
		RUELLIA PENINSULARIS
		BAJA RUELLIA
		AGAVE WEBERII
		WEBBER'S AGAVE
		MUHLENBERGIA 'REGAL MIST'
		REGAL MIST DEER GRASS
		PACHYCEREUS MARGINATUS
		MEXICAN FENCE POST
		ALOE 'BLUE ELF'
		BLUE ELF ALOE
		EUPHORBIA RICIDA
		GOPHER PLANT
		LANTANA MONTEVIDENSIS
		'GOLD MOUND'
		ACACIA REDOLENS
		'DESERT CARPET' 1m
		3x3x3' SURFACE SELECT GRANITE BOULDER
		1/2" MINUS MADISON GOLD DECOMPOSED GRANITE
		2' DEPTH IN ALL LANDSCAPE AREAS



EXISTING LANDSCAPE DATA

EXISTING LANDSCAPE DATA	TREES	SHRUBS
WEST PROPERTY LINE (545)	REQUIRED (22) PROVIDED (22)	REQUIRED (66) PROVIDED (66)
EAST PROPERTY LINE (545)	REQUIRED (22) PROVIDED (22)	REQUIRED (66) PROVIDED (66)
NORTH PROPERTY LINE (332)	REQUIRED (13) PROVIDED (13)	REQUIRED (39) PROVIDED (48)
SOUTH PROPERTY LINE (332)	REQUIRED (13) PROVIDED (14)	REQUIRED (39) PROVIDED (145)
PARKING STALLS (117)	REQUIRED (24) PROVIDED (24)	REQUIRED (72) PROVIDED (72)
FOUNDATION TREES	36" BOX REQUIRED (6) 36" BOX PROVIDED (13)	



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street, Suite 120
Scottsdale, AZ 85258
Phone: (480) 252-4330
EMAIL: tmmcqueen@tjma.net

MESA SHOPS
8946 E. GERMANN ROAD
MESA, ARIZONA

NUMBER	REVISION	DATE

LANDSCAPE PLAN

ISSUE DATE: _____

DRAWN BY: _____

CHECKED BY: _____

PROJECT NO.: _____

SHEET: _____

La.01
1 OF 1

MESA SHOPS

CLIENT:
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CONTRACTOR:


PROJECT:
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 8950 E. GERMANN RD.
 MESA, AZ 85212

JOB NUMBER:

DESIGNER:
navarro
 architecture

NAVARRO ARCHITECTURE
 HECTOR NAVARRO - ASSOC. AIA
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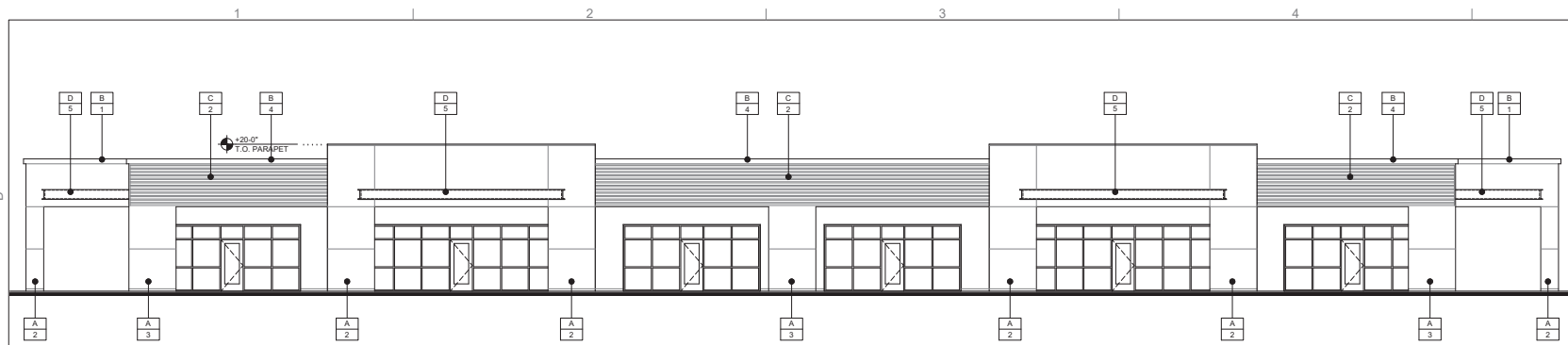
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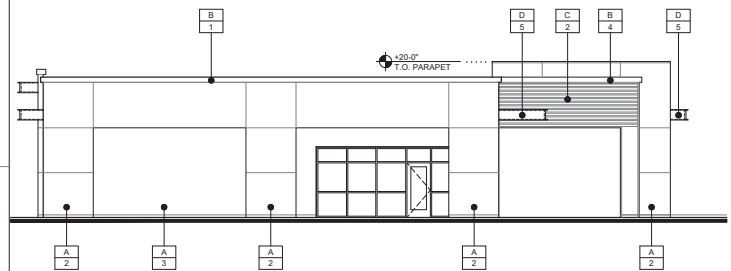
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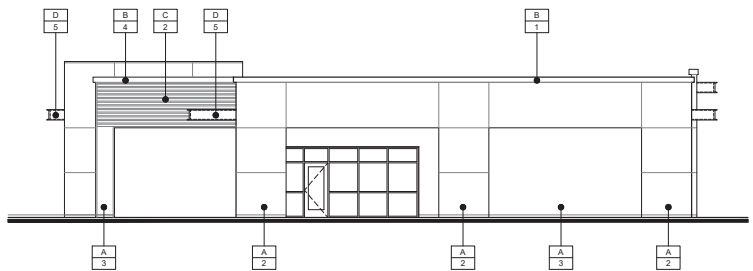
NORTH ELEVATION

SCALE
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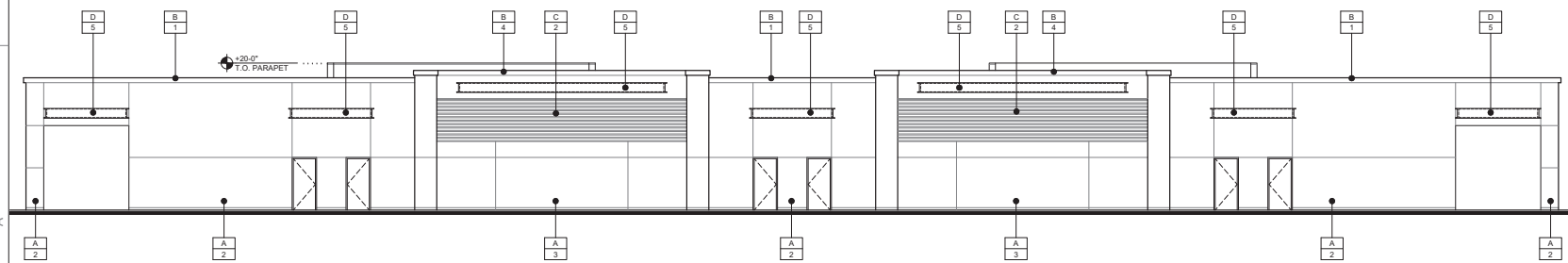
EAST ELEVATION

SCALE
1/8"=1'-0" **3**



WEST ELEVATION

SCALE
1/8"=1'-0" **2**



SOUTH ELEVATION

SCALE
1/8"=1'-0" **1**

EXTERIOR MAT. NOTES:

- A. PAINTED E.I.F.S. OVER 8" MASONRY WALLS, FRAMED CANOPY FASCIA OR COLUMNS
- B. PAINTED E.I.F.S. CORNICE - SEE DETAILS --A7.0, --A7.1, --A7.1.
- C. PAINTED E.I.F.S. HORIZONTAL BANDING - SEE DETAILS --A7.0, --A7.1, --A7.1.
- D. 16" CHANNEL CANOPY FRAME w/ 4"x4" SQ. TUBE LATTICE
- E. ANODIZED ALUMINUM STOREFRONT WITH CLEAR GLAZING - SEE SPECIFICATIONS
- F. LOCATION OF FUTURE SIGN - UNDER SEPARATE PERMIT - COORDINATE WITH OWNERS SIGN SUBCONTRACTOR
- G. BUILDING ADDRESS - VERIFY NUMBERS, LOCATION AND HEIGHT WITH FIRE MARSHALL (12" HIGH MIN.) - NUMBERS MUST CONTRAST WITH BACKGROUND
- H. LOCATION OF FUTURE INDIVIDUAL SUITE ADDRESS (6" HIGH MIN.)
- I. LINE OF ROOF DECK BEYOND SHOWN DASHED - SEE STRUCTURAL FOR DECK HEIGHTS
- J. CONCRETE CURB - SEE DETAIL --SP1.0
- K. PIPE BOLLARDS - SEE DETAIL --SP1.0
- L. RECESSED HOSE BIBB WITH COVER - SEE PLUMBING DRAWINGS
- M. SERVICE ENTRY SECTION - SEE ELECTRICAL - PAINT TO MATCH ADJACENT SURFACE
- N. OVERFLOW SCUPPER - SEE DETAILS 5 AND 6/A7.1
- O. WALL PACK / EMERGENCY LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- P. ROOF DRAIN TO CONNECT TO STORM DRAIN - SEE DETAILS 5 AND --A7.1 AND CIVIL DRAWINGS
- Q. KNOX BOX - MOUNT AT 52"±A.F.F. CONFIRM FINAL LOCATION WITH CITY FIRE MARSHALL
- R. HOLLOW METAL DOORS & FRAME - SEE DOOR SCHEDULE - PAINT TO MATCH ADJACENT SURFACE
- S. GAS METER
- T. FIRE DEPARTMENT CONNECTION - SEE PLUMBING DRAWINGS
- U. EXTERIOR TELEPHONE MOUNTING BARD IN CABINET - PAINTED

COLOR SCHEDULE:

- 1 DUNN EDWARDS - DE8372 "LACE VEIL"
- 2 DUNN EDWARDS - DE8366 "SILVER SPOON"
- 3 DUNN EDWARDS - DE8375 "CASTLEROCK"
- 4 DUNN EDWARDS - DE8369 "LEGENDARY GREY"
- 5 DUNN EDWARDS - PAINT TO MATCH "GREEN OF ELEVATE LOGO"

GENERAL NOTES:

ISSUE DATE:

DESCRIPTION:

DRAWING NUMBER:

SYMBOLS LIST:

- T.G. TEMPERED GLAZING
- MCJ MORTAR CONTROL JOINTS (MOVEMENT JOINTS) (PROVIDE FIRE RATED WHERE REQUIRED)

CLIENT:
AMANDA WILLIAMS
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CONTRACTOR:

PROJECT:
MESA SHOPS
8950 E. GERMANN RD.
MESA, AZ 85212

JOB NUMBER:

DESIGNER:
navarro architecture
NAVARRO ARCHITECTURE
HECTOR NAVARRO - ASSOC. AIA
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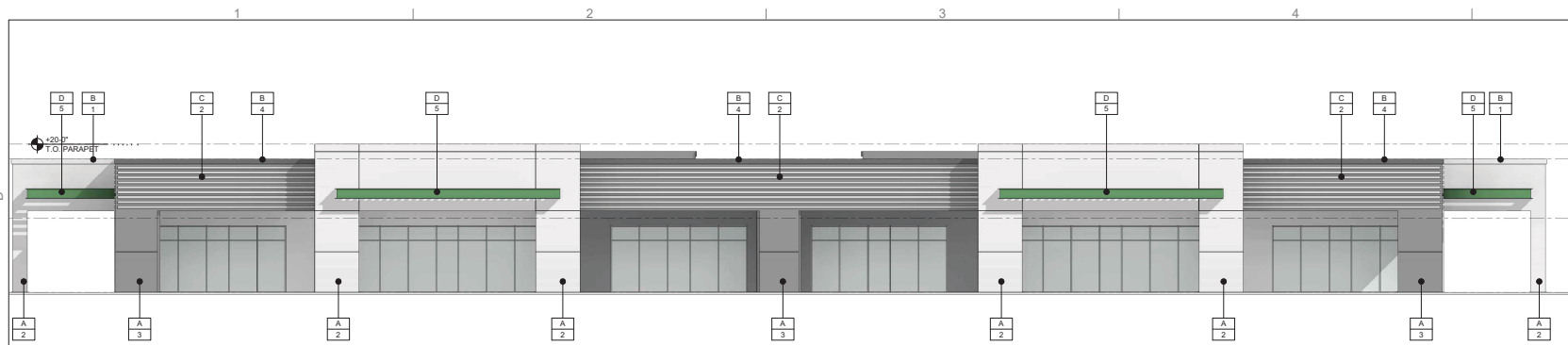
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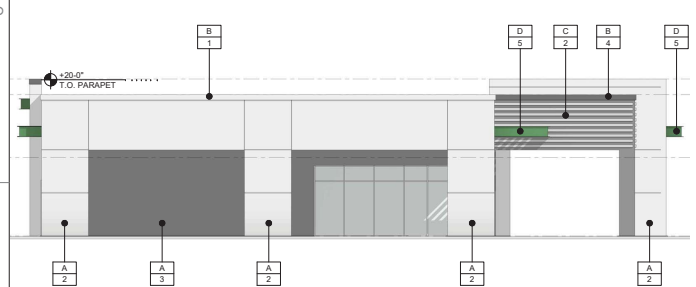
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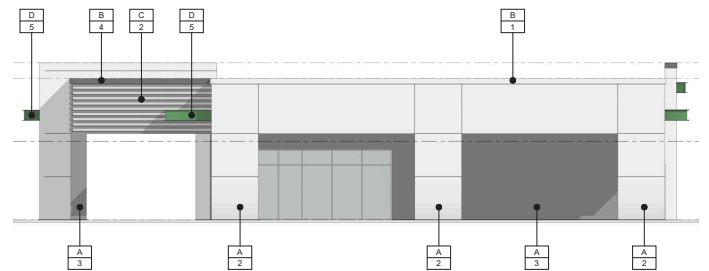
NORTH ELEVATION

SCALE
1/8"=1'-0" 4



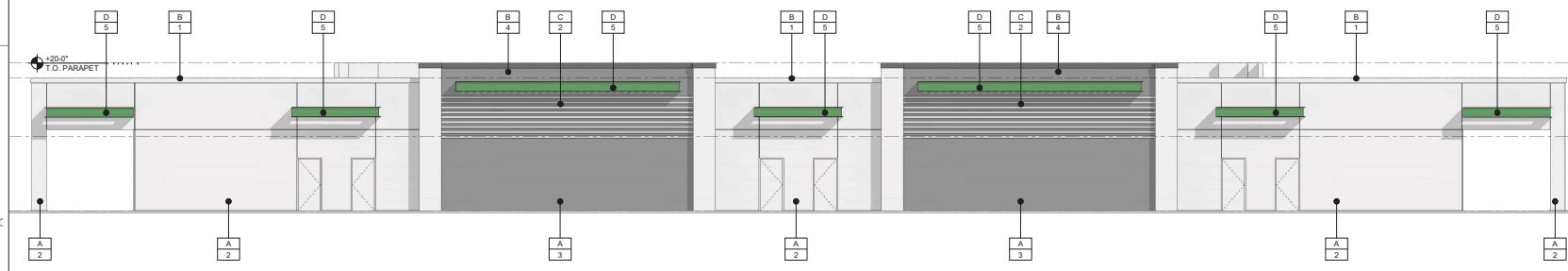
EAST ELEVATION

SCALE
1/8"=1'-0" 3



WEST ELEVATION

SCALE
1/8"=1'-0" 2



SOUTH ELEVATION

SCALE
1/8"=1'-0" 1

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GENERAL NOTES:

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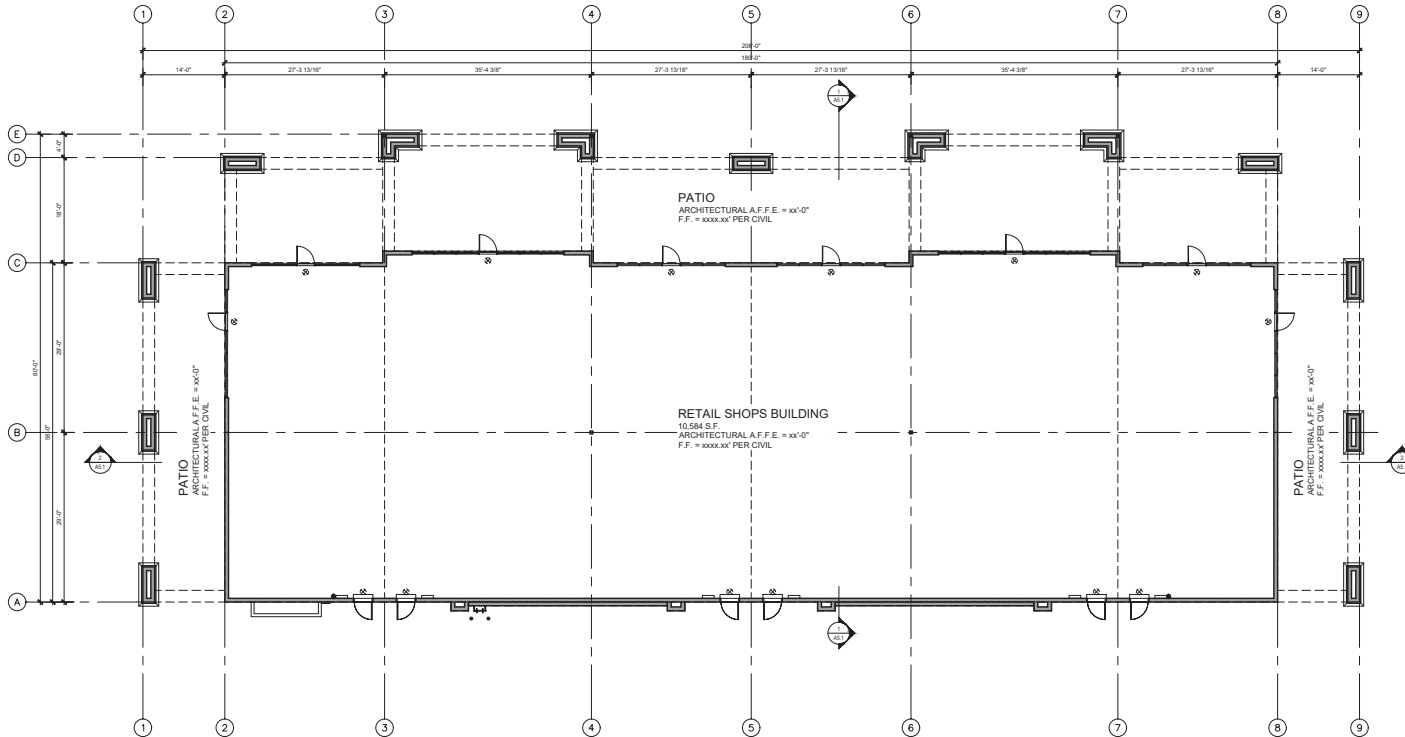
DESIGN REVIEW

COLOR SCHEDULE:

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- 2 DUNN EDWARDS - DE6366 "SILVER SPOON"
- 3 DUNN EDWARDS - DE6375 "CASTLEROCK"
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- 5 DUNN EDWARDS - PAINT TO MATCH "GREEN OF ELEVATE LOGO"

SYMBOLS LIST:

- T.G. TEMPERED GLAZING
- MCJ MORTAR CONTROL JOINTS (MOVEMENT JOINTS) (PROVIDE FIRE RATED WHERE REQUIRED)



FLOOR PLAN



SCALE
1/8"=1'-0"

1

KEYED NOTES:

1. 8" MASONRY EXTERIOR WALL - SEE ELEVATIONS FOR FINISHES - SEE STRUCTURAL DRAWINGS
2. ALUMINUM STOREFRONT - TO 9' 0" A.F.F. - SEE ELEVATION FOR FINISH - SEE DETAILS 01, 02, AND 03/A7.0 AND DOOR SCHEDULE
3. SURFACE MOUNTED ELECTRIC UNIT HEATER - SEE ELECTRICAL DRAWINGS
4. 5" CONCRETE SLAB ON GRADE, TROWELED FINISH - SEE STRUCTURAL DRAWINGS AND SOILS REPORT
5. 6" CONCRETE CURB AT CANOPY COLUMNS - SEE DETAIL 13/SP1.0
6. RECESSED HOSE BIBB - SEE PLUMBING DRAWINGS
7. 4" THICK CONCRETE PAD FOR ELECTRICAL S.E.S.
8. KNOX BOX LOCATION - RECESSED IN MASONRY WALL, BOX SHALL BE MOUNTED NO HIGHER THAN 60" ABOVE FINISHED GRADE
9. SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS
10. SURFACE MOUNTED ELECTRICAL HOUSE PANEL - SEE ELECTRICAL DRAWINGS
11. SURFACE MOUNTED FIRE ALARM CONTROL PANEL - SEE ELECTRICAL DRAWINGS
12. FIRE RISER - SEE PLUMBING DRAWINGS
13. 4'-0"W x 8'-0"H EXTERIOR RATED TELEPHONE MOUNTING BOARD 6" A.F.F. - SEE ELECTRICAL DRAWINGS
14. ROOF LADDER - SEE DETAILS 03 AND 04/A7.1
15. FUTURE GAS METER (BANK OF METERS) PER GAS COMPANY REQUIREMENTS - COORDINATE WITH GAS COMPANY - STUB SERVICE TO LOCATION AND CAP AS REQUIRED
16. FIRE EXTINGUISHER - QUANTITY AND FINAL LOCATIONS DICTATED PER FIRE MARSHAL - SEE FIRE DEPARTMENT NOTE #3
17. ROOF DRAIN AND OVERFLOW SCUPPER BRACKETED TIGHT TO CONCRETE TILT WALL - SEE DETAIL 05 AND 06/A7.1
18. FUTURE LOCATION OF TENANT PROVIDED ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS
19. FIRE DEPARTMENT CONNECTION - SEE PLUMBING DRAWINGS
20. DROP SOFFIT ABOVE - SEE ARCHITECTURAL ELEVATIONS AND SECTIONS
21. PROVIDE ALUMINUM THRESHOLD AT DOOR - SEE DOOR SCHEDULE AND SPECIFICATIONS
22. 12'-0" CONCRETE SLAB BLOCK-OUT AT REAR FOR SEWER LINE ACCESS - SEE STRUCTURAL AND PLUMBING DRAWINGS
23. HOLLOW METAL DOOR AND FRAME - SEE DOOR SCHEDULE
24. CANOPY SOFFIT ABOVE - SEE SHEET A--0
25. 6"x6" TUBE STEEL COLUMNS - SEE STRUCTURAL DRAWINGS
26. FRAMED CANOPY COLUMNS - SEE STRUCTURAL DRAWINGS

ACCESSIBILITY NOTES

1. ACCESSIBLE ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCE AND AT ALL REAR DOORS.
2. THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX. GROSS SLOPE 2% WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT.
3. PROVIDE A 60" X 60" MIN. LANDING WITH 24" OF THE LANDING BEYOND STRIKE SIDE OF DOOR WITH 44" MIN. WIDTH IN DIRECTION OF TRAVEL.
4. WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
5. RAMPS SHALL HAVE A NON-SLIP SURFACE WITH TACTILE WARNING SURFACE - RAMPS SHALL BE 36" WIDE MIN. U.N.O. AND 48" WIDE WITH HANDRAILS.
6. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3 FT. WIDE BY NOT LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90 DEGREES AND MINTD. SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32" MIN.
7. ALUMINUM THRESHOLD TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.
8. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS.
9. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
10. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH - PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.).
11. SELF CLOSING DOORS TO REMAIN OPEN FOR MIN. OF 10 SECONDS.

WALL LEGEND

EXTERIOR MASONRY WALL
SEE WALL SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS AND FINISHES

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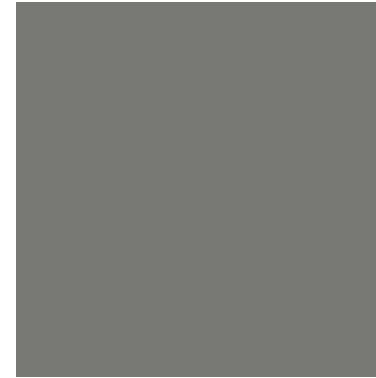
MATERIAL BOARD



DE6366 - SILVER SPOON



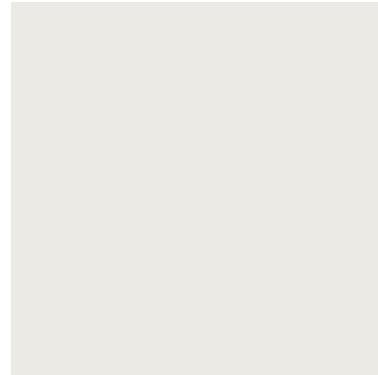
DE6375 - CASTLEROCK



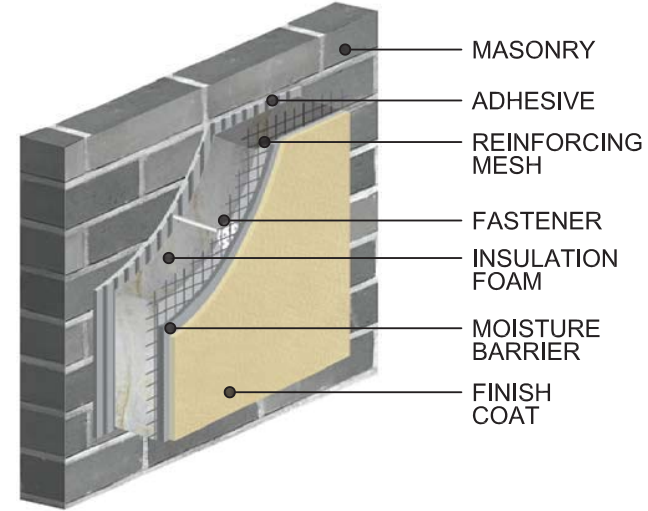
DE6369 - LEGENDARY GRAY



DE56xx - ELEVATE GREEN



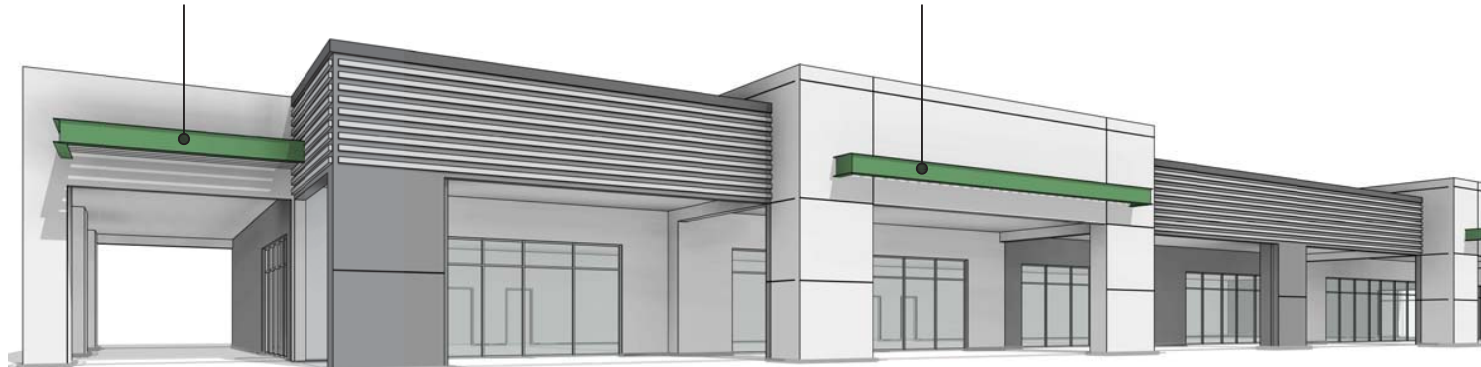
DE6372 - LACE VEIL



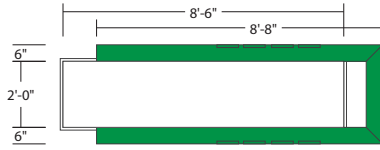
E.I.F.S.

16" CHANNEL CANOPY w/
4"x4" SQ. TUBE LATTICE
DE56xx - ELEVATE GREEN

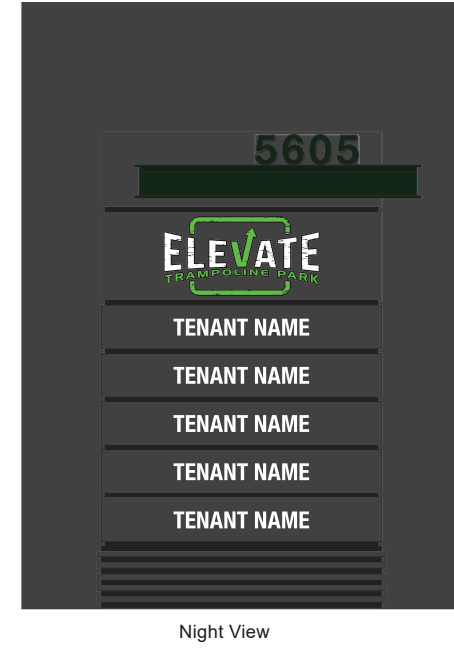
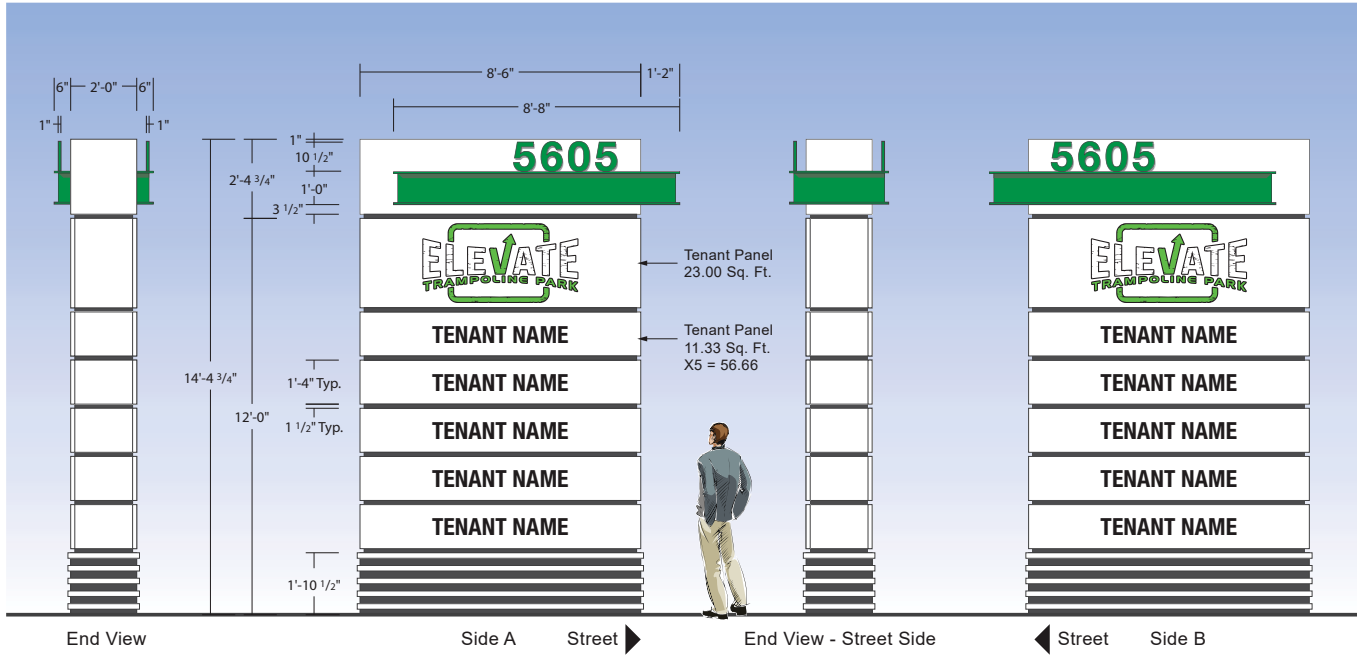
16" CHANNEL CANOPY w/
4"x4" SQ. TUBE LATTICE
DE56xx - ELEVATE GREEN



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<p>CONTRACTOR:</p>
<p>PROJECT:</p> <p>MESA SHOPS 8946 E. GERMANN RD. MESA, AZ 85212</p>
<p>JOB NUMBER:</p>
<p>DESIGNER:</p> <p>navarro architecture</p> <p>NAVARRO ARCHITECTURE 10001 N. HANOVER • SUITE 100 (P) 602.334.1325 • M hnd@navarroarch.com</p>
<p>SCALE:</p>
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<p>DRAWING ISSUE:</p> <p>▲ _____ ▲ _____ ▲ _____ ▲ _____</p>
<p>ISSUE DATE:</p>
<p>DESCRIPTION:</p>
<p>DRAWING NUMBER:</p> <p>DESIGN REVIEW</p>

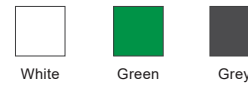


Plan View

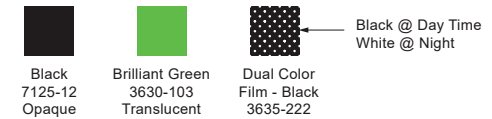


ILLUMINATED MULTI-TENANT MONUMENT
 Scale: 1/4" = 1'-0"
 SQFT: 79.66

Manufacture and install one illuminated multi-tenant monument, double sided.
 Cabinet fabricated of 1/8" aluminum, 1 1/2" x 1 1/2" reveals painted grey.
 Removable tenant panels: Fabricated of 1/8" aluminum with routed out copy backed with 1/8 white acrylic. 1st surface 3M vinyl graphics.
 All paint colors to match building. Colors TBD.
 Internal illumination: White LED modules.
 Embellishment faux beam: Fabricated of 3/8" aluminum plate. Painted Green to match building.
 Address numerals: Faces fabricated of 1/8" aluminum with 1" deep .063" aluminum returns painted green to match building.
 Base: Fabricated of 1/8" aluminum painted grey. Base embellishments fabricated of 2"x 1" x 1/8" aluminum tube painted white.



Paint Color to Match Building
 Exact color TBD



Vinyl Colors for Routed Tenant Panels
 Verify prior to fabrication

CUSTOMER APPROVAL
 BY: _____
 DATE: _____ W/O CHGS W/ CHGS

LANDLORD APPROVAL
 BY: _____
 DATE: _____ W/O CHGS W/ CHGS

PROJECT: Elevate Trampoline Park
LOCATION: 8946 E Germann Rd, Mesa AZ
 9200 Valley Rd, Prescott Valley, Arizona 86314
 800-257-5095

SIGNS PLUS

Account Executive: Steven Johnson
Designer: PB
Design Number: 5605
Job Number: _____
DATE: 07/31/2019
SCALE: AS NOTED
REVISIONS: _____

SHEET: 2 OF 2

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